

**PLANNING COMMISSION**  
**CITY OF ROLLING HILLS ESTATES**  
**LOS ANGELES COUNTY, CALIFORNIA**  
**RESOLUTION NO. PA-260013**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS ESTATES GRANTING A NEIGHBORHOOD COMPATIBILITY DETERMINATION (NC-260014) FOR AN INTERIOR REMODEL AND ADDITIONS TO AN EXISTING TWO-STORY, SINGLE FAMILY RESIDENCE THAT INCLUDES 474 SF OF FIRST STORY ADDITIONS AND A 570 SF SECOND STORY ADDITION; AND A VARIANCE (V-260015) TO EXCEED THE REQUIRED HEIGHT TO SETBACK RATIO IN THE WEST SIDE YARD. APPLICANT: REIKO MICHLIG, REIKO ARCHITECTURE; LOCATION: 3554 LARIAT LANE (APN 7548-011-017)**

The Planning Commission of the City of Rolling Hills Estates resolves as follows:

SECTION 1. General Findings. The Planning Commission finds as follows:

A. Reiko Michlig, Reiko Architecture filed an application (PA-260013) with the Planning Division requesting approval of a Neighborhood Compatibility Determination (NC-260014) for an interior remodel and additions to an existing two-story, single family residence that includes 474 SF of first story additions and a 570 SF second story addition; and a Variance (V-260015) to exceed the required height to setback ratio in the west side yard. (collectively, the "Project").

B. The Project was reviewed in accordance with the California Environmental Quality Act (Public Resources Code § 21000 and following: "CEQA") and the State CEQA Guidelines (14 CCR § 15000 and following) and was determined to be Categorically Exempt under Class 1 of the State CEQA Guidelines, Section 15301(e)(1) (Existing Facilities). The project is consistent with the minor alteration of a private structure with no change to the existing use.

C. The Planning Commission conducted a duly noticed public hearing on the 2nd day of March 2026. All interested parties were given full opportunity to be heard and to present evidence.

SECTION 2. Neighborhood Compatibility Findings. The Planning Commission finds with respect to the application for NC-260014 as follows:

A. Natural Amenities. Improvements to residential property shall respect and preserve to the greatest extent possible existing topography, landscaping, and natural features. The proposal has met the criteria because it involves only minimal alterations to the landscaping within the west side yard. Most of the improvements are either contained within the existing building footprint or situated over an existing concrete patio in the rear yard. Consequently, the site's topography will remain largely undisturbed, preserving the property's primary natural features.

B. Neighborhood Character. Proposals shall be compatible with the existing neighborhood character in terms of scale of development, architectural style and materials. The proposal has met these criteria because the project's scale, architectural style, and material palette represent a cohesive blend of Farmhouse and Ranch styles typical of the surrounding area. Exterior modifications are designed to be restrained; the use of new sand-finish stucco will maintain a texture consistent with the original residence. While the proposed additions will increase the total floor area to 4,869 SF—exceeding the neighborhood average of 3,508 SF—the resulting size remains within the established range of homes in the immediate vicinity (Attachment F). Furthermore, at 19% lot coverage, the project remains significantly below the 30% maximum allowed for the district.

C. Scale. Designs should minimize the appearance of overbuilt property to both public and private view. The square footage of the residence and total lot coverage should reflect the rural character of the City and neighborhood. The proposal has met these criteria because the 19% lot coverage is well under the RA-20 zoning district's 30% limit, preserving the open, rural character of the lot. To minimize the visual impact of the added mass, the bulk of the two-story addition is located at the rear of the residence. The portion of the addition extending into the west side yard is screened by a line of mature trees, making it minimally visible from the

street. The resulting 4,869 SF home remains proportional to other larger homes in the neighborhood.

D. Style. Proposals shall address the following design elements: façade treatments (avoid stark and unbroken walls), structure height(s), open spaces, roof design, appurtenances, mass and bulk. These design elements should be compatible with the existing home and neighborhood and in all instances seek to minimize the appearance of a massive structure. The proposal has met these criteria since the exterior improvements utilize finishes that are similar to the existing residence. While the proposed height of 25'-10" necessitates a Variance for the height-to-setback ratio, the design improves the home's current architectural state. The existing west-facing facade currently consists of an unbroken, unarticulated wall; the proposed addition will introduce new architectural articulation and dimension to this elevation. By breaking up the vertical plane, the design achieves the underlying intent of the height-to-setback requirement—minimizing the perception of mass—despite the technical need for a Variance.

E. Privacy. Proposals shall maintain an adequate separation between the proposed structures and adjacent property lines. In addition, proposed balconies, decks and windows shall respect the existing privacy of surrounding properties. The proposal has met these criteria because the project respects the privacy of adjacent neighbors while maintaining the required 15' minimum setback. Although the applicant is requesting a Variance for the height-to-setback ratio, the physical distance to the property line remains code-compliant. While the new 159 SF second-story deck introduces a new elevated viewing area, it is noted that the immediately adjacent neighbors have reviewed and expressed their support for the project.

F. Views. Designs should respect existing neighboring views. The proposal has met the criteria because the subject property is situated among a mix of one- and two-story residences. The proposed improvements match the existing building height and are not anticipated to obstruct or negatively impact any protected neighboring views.

SECTION 3. Variance Findings. The Planning Commission finds with respect to the application for V-260015 to allow the construction of the proposed west side yard addition to exceed the height to setback ratio requirement per RHEMC Section 17.06.180 that requires any portions of structures in excess of 14' to be setback an additional foot for every additional foot in height., as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to its intended use, which do not apply generally to other properties in the same zoning district and neighborhood because the property is developed with an existing non-conforming two-story residence where the western building plane currently consists of an unbroken, vertical wall reaching a height of 25'-10". The proposed addition is designed to align with this existing building plane, to ensure structural and architectural continuity. Requiring a step-back for the new addition would create an irregular and disjointed building massing that is inconsistent with the home's original design. Furthermore, the presence of mature, dense foliage along this property line provides a natural screen that is unique to this lot, effectively mitigating the visual impact. Additionally, the proposed addition will create architectural articulation in the westerly building face that will break up the unbroken, vertical plane which is the underlying intent of the height-to-setback requirement.

B. That such Variances are necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the same zoning district and neighborhood because the ability to expand a primary residence to meet modern functional needs—specifically the creation of adequate bedroom and living space—is a substantial property right enjoyed by other owners in the RA-20 zoning district. Many neighboring properties of similar sizes have been allowed to maintain or expand two-story mass to provide modern amenities. Denying the Variance would force a stepped architectural design that is not present on the existing structure, thereby depriving the applicant of the right to an aesthetically cohesive home expansion. Since the project maintains the required 15' side yard setback and remains under the maximum 27' height limit, the Variance simply allows the applicant to enjoy the same buildable volume and architectural symmetry as neighboring properties that are not constrained by similar pre-existing non-conforming wall planes.

C. That the granting of these Variances will not be materially detrimental to the public welfare or injurious to property improvements in the zoning district and neighborhood in which the property is located because the proposed improvements meet Neighborhood Compatibility criteria, will not present any privacy impacts, and will require all necessary Building

and Safety permits to be constructed, and are thereby not detrimental to the public welfare and neighborhood.

D. That the granting of such Variances will not be contrary to the objectives of the General Plan because Policy 2.7 of the Land Use Element of the General Plan states that the City continues to implement the City's Neighborhood Compatibility Ordinance with which the Variance request complies.

E. That the granting of the Variance will not authorize a use or activity which is not otherwise expressly authorized by the zoning regulations governing the parcel of the property because single-family residences are permitted in the RA-20 zoning district and the granting of the Variance will allow the property owner to continue to utilize and improve their property with residential site improvements. The Variance will allow for flexibility in the strict interpretation of the RA-20 District requirements intended for the development of traditional lots without the unique circumstances or existing constraints.

SECTION 4. Approval of Planning Application PA-260013. The foregoing findings constitute sufficient grounds for the approval of the requested project, including NC-260014 and V-260015.

These approvals are granted subject to the following conditions, which must be met at all times, unless otherwise stated, in order to enjoy the use of the subject property for any and all uses permitted by the granting of the requested approvals.

#### General Conditions

1. All improvements hereafter constructed or installed on land which is the subject of this approval shall be located substantially as shown on Exhibit A and/or as required under the Municipal Code and/or as required in these conditions.
2. In the event of one or more violations of these conditions, the City Manager shall have enforcement capability to remedy such violations and/or revoke said approvals.
3. The Applicant must submit to the City an executed copy of the *Affidavit of Acceptance of Conditions* (AOC) within ninety (90) days following the date of this approval. Failure to do so will render this approval null and void. City staff will provide the AOC to the applicant following the appeal period for this approval.
4. The applicant must submit the entire project for plan check with the Department of Building and Safety within six months of approval of this application (RHEMC Section 17.72.110.C.2), with two six-month time extensions maximum allowed to be granted by the Planning Commission. All colors and materials shall be noted on plans and Zone Clearance is contingent upon adherence to the conditions of approval.
5. Per RHEMC Section 8.20.120, the City of Rolling Hills Estates maintains an exclusive franchise agreement with Waste Management, for the collection of solid waste, recycling, and green waste services for residential and non-residential properties, as well as for the collection of construction-related generated waste for residential and non-residential projects. All bins maintained on private property and/or any bins placed in the Public Right of Way, with benefit of an encroachment permit during construction activities, must be contracted through Waste Management. Service may be coordinated by contacting Waste Management at (800) 774-0222.
6. All construction activity is limited to the hours between 7:00 A.M. and 5:00 P.M. Monday through Friday, and 9:00 A.M. and 5:00 P.M. on Saturday. No work is permitted on Sundays or holidays (New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day).
7. No queuing of trucks or arrival of construction materials and/or workers to the construction site is permitted outside the permitted construction hours and days.
8. That the applicant must comply with the City's Noise Ordinance during the construction of the project.
9. That the applicant must comply with all applicable NPDES (National Pollutant Discharge Elimination Systems) requirements.
10. The applicant will legalize or remove all structures built without permits. Compliance with this condition is required prior to issuance of a Certificate of Occupancy.

SECTION 5. Severability. If any section, subsection, subdivision, sentence, clause, phrase, or portion of this resolution is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision will not affect the validity of the remainder of this resolution. The Planning Commission hereby declares that it would have adopted this resolution, and each and every section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, or portions thereof is declared invalid or unconstitutional.

SECTION 6. Record of Proceedings. The City Clerk is directed to certify to the adoption of this Resolution and to keep a copy of same along with such other documents and records of proceedings as may be designated by the City Manager.

ADOPTED this 2nd day of March, 2026.

\_\_\_\_\_  
WILL NICKLAS, CHAIR

ATTEST:

\_\_\_\_\_  
LAUREN PETTIT, CITY CLERK

I HEREBY CERTIFY that the foregoing Resolution No. PA-260013 was adopted by the Planning Commission of the City of Rolling Hills Estates at a regular meeting held thereof on the 2nd day of March, 2026, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
LAUREN PETTIT, CITY CLERK



-REIKO MITCHELL &  
ASSOCIATES-

REIKO@REIKOMICHELLO.COM  
WWW.REIKOMICHELLO.COM

SONG RESIDENCE

PROJECT ADDRESS:

3554 LARIAT  
LANE  
ROLLING HILLS ESTATE  
CA 90274  
OWNER:

SONG RESIDENCE  
ROLLING HILLS ESTATE, CA

PROJECT SUMMARY

SITE INFORMATION

JOB ADDRESS: 3554 LARIAT LANE  
ROLLING HILLS ESTATE CA 90274  
ASSESSOR PARCEL NUMBER: 022-001-017  
ZONING DISTRICT: RA-20  
PARCEL SIZE: 22,728 SF  
OCCUPYING CARPOUS: VAO  
NUMBER OF STORIES: 02  
FIRE SPRINKLERS: NONE

LEGAL DESC: BLK 3 PGS 44 OF P.M. LOT 4  
MAXIMUM HEIGHT: 27'  
REAR: 25'  
SIDE: 35'  
10' 20% OF LOT WIDTH, 15' MAX, 10' MIN  
PARKING: 3(B)  
VIEWS: YES

FLOOR AREA

	EXISTING	ADD	PROPOSED
1ST FLOOR	1,714 SF	146 SF	2,183 SF
2ND FLOOR	1,447 SF	203 SF	2,047 SF
GARAGE	439 SF	0 SF	439 SF
DECK	(123 SF)	(139 SF)	(222 SF)
ZONING	3,630 SF	1,087 SF	4,849 SF
TOTAL FLOOR AREA	3,630 SF	1,087 SF	4,849 SF
MAX. BLDG HEIGHT	+/-25'-10"		+/-25'-10"

LOT COVERAGE

EXISTING LOT COVERAGE	PROPOSED
3.17 (26)	5% (146)

PROPOSED  
PROPOSED LOT COVERAGE: 4.20 (25% (29.8)  
MAX LOT COVERAGE 38%, SEE A0.2

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE VOLUMES 1 & 2
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- AND OTHER APPLICABLE STATE AND LOCAL REGULATIONS

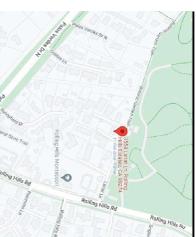
PROJECT DESCRIPTION

- NEW SECOND FLOOR OVER EXISTING
- ADDITIONAL REAR AND SIDE AT FIRST FLOOR
- INTERIOR REMODEL OF KITCHEN, LIVING, FAMILY, BEDROOMS, BATHS, LAUNDRY ROOM
- NEW FINISHES
- NEW FANLESS WATER HEATER

CONTENTS

- A0.0 ARCHITECTURAL
- A0.1 COVER SHEET
- A0.2 CONCEPT PLAN
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- A1.0 PROPOSED SITE PLAN
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- A2.1 EXISTING & DEMO ROOF PLAN
- A2.2 PROPOSED FIRST FLOOR PLAN
- A2.3 PROPOSED SECOND FLOOR PLAN
- A2.4 PROPOSED ROOF PLAN
- A3.0 EXISTING ELEVATIONS
- A3.1 EXISTING ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A3.3 3D
- A3.4 RENOVATIONS

VICINITY MAP



CONTACTS

OWNER: DEBORAH AND MARK SONG  
BUILDING DESIGNER: REIKO MITCHELL & ASSOCIATES  
1380 AVONET SAN JEROME ROAD  
ROLLING HILLS ESTATE, CA 90274  
T: 444-594-9292  
W: WWW.REIKOMICHELLO.COM

STRUCTURAL ENGINEER: TITLE 26

COVER SHEET

SHEET #

A0.0







- NOTES**
1. RELOCATE (E) ELECTRICAL METER, UPGRADE TO 30AMP
  2. (E) GUY TO REMAIN
  3. (N) RAINSCREEN WATER HEATER, (N) ACC, (N) FAULTY ANTIC



REIKO MICHIGO  
.DESIGN

REIKO@REIKOMICHIGO.COM  
WWW.REIKOMICHIGO.COM

**SONG RESIDENCE**

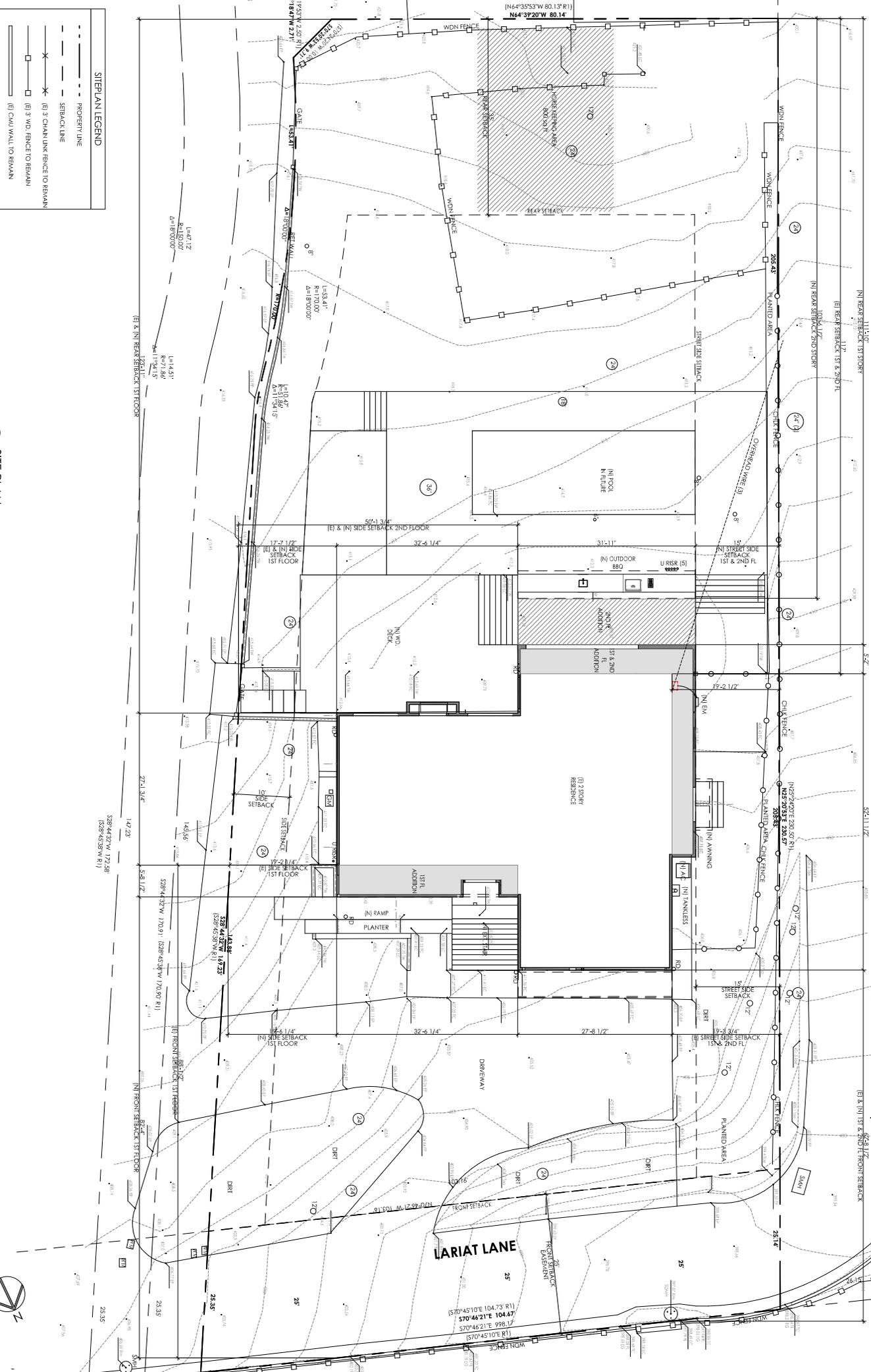
**3554 LARIAT LANE**  
ROLLING HILLS ESTATE  
CA 90274  
OWNER:

PROJECT ADDRESS:

PROJECT	3554 LARIAT LANE
TOWN	ROLLING HILLS
REVISIONS/ISSUES	
PLANNING REPORT SET	01.17.23
PLANNING REPORT SET	1.20.23

PROPOSED SITE PLAN  
SHEET #

A1.0



**SITEPLAN LEGEND**

---	PROPERTY LINE
- - -	SEBACK LINE
---	(E) 3 CHAIN LINK FENCE TO REMAIN
---	(E) 3 WD. FENCE TO REMAIN
---	(E) CMU WALL TO REMAIN

**1 SITE PLAN**

CONSTRUCTION LEGEND	
	(E) WALL TO REMAIN
	WALL TO BE DEMOLISHED
	STRUCTURE ABOVE

**NOTES**

1. EXISTING CHIMNEY TO REMAIN
2. REMOVE CONCRETE STEPS IN FRONT



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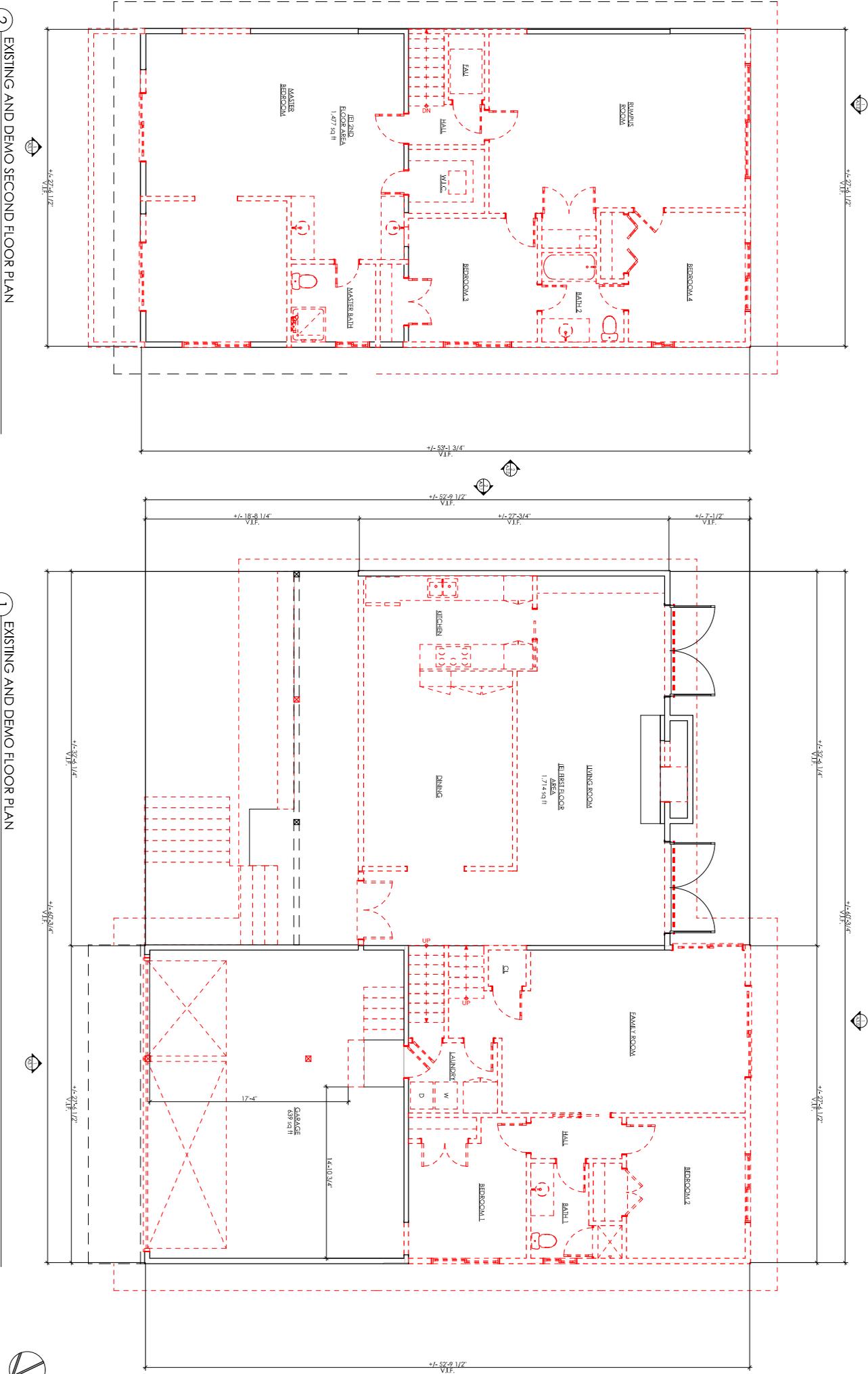
PROJECT	
TRAVEL BY	
NO	REVISIONS/ISSUES
PLANNING PERMIT SET	01.17.23
PLANNING PERMIT SET	1.23.23
SHEET TITLE:	
EXISTING & DEMO FLOOR & ROOF PLAN	

SHEET #

A2.0

1 EXISTING AND DEMO FLOOR PLAN

2 EXISTING AND DEMO SECOND FLOOR PLAN



CONSTRUCTION LEGEND	
	EXISTING CEMENT TILE ROOF TO REMAIN
	STRUCTURE TO BE DEMOLISHED
	STRUCTURE BELOW

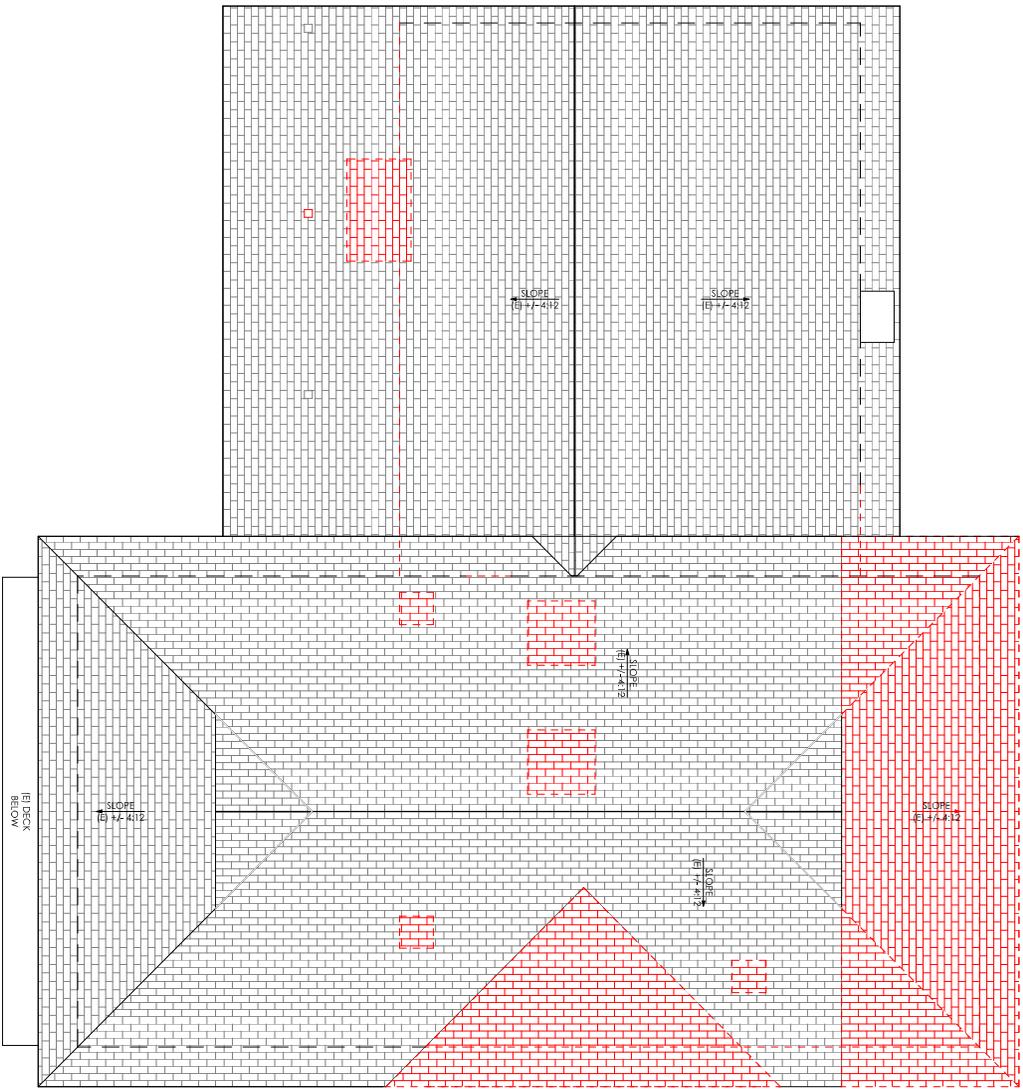
NOTES



-REIKO MICHLIG-  
DESIGNS

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SONG RESIDENCE



PROJECT ADDRESS:  
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ROLLING HILLS ESTATE  
CA 90274  
OWNER:

PROJECT	
TRAVIN BY	
NO	REVISIONS/ISSUES
PLANNING PERMIT SET	2.17.23
PLANNING PERMIT SET	1.23.23

- DO NOT SCALE DRAWING DIMENSIONS OR AREA OFF-DRAWING
- ALL DIMENSIONS SHALL BE GIVEN ON THE BEFORE
- ALL WORK SHALL BE COMPLETED WITHIN THE
- ANY REVISIONS TO THE SHEET FOR APPROVAL

SHEET TITLE:  
EXISTING & DEMO ROOF  
PLAN

1 EXISTING AND DEMO ROOF PLAN



A2.1

SHEET #



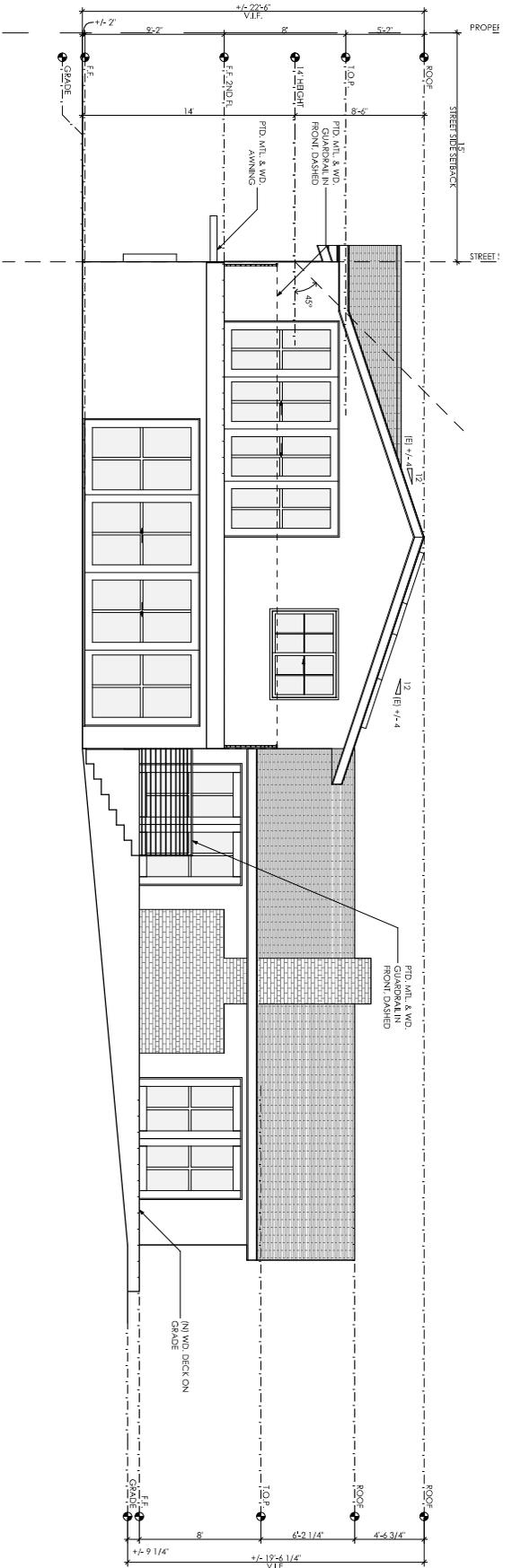






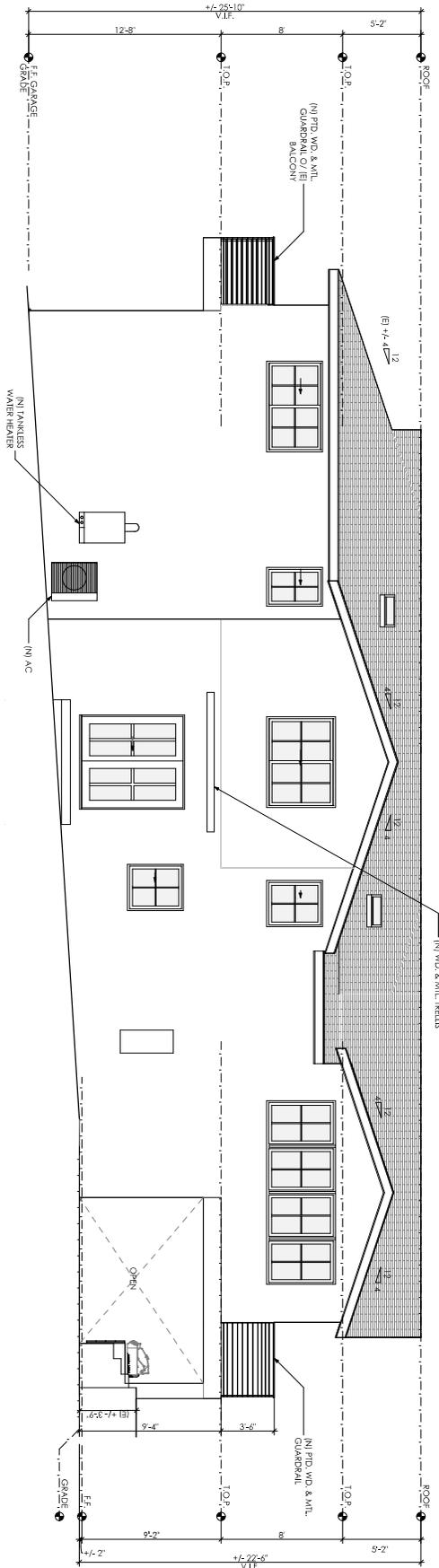






1  
1/4" = 1'-0"

PROPOSED SOUTH (REAR) ELEVATION



2  
1/4" = 1'-0"

PROPOSED EAST (SIDE) ELEVATION

NOTES

1. (N) SAND FINISH STUCCO THROUGH OUT
2. (N) F.G. WINDOWS AND DOORS THROUGH OUT
3. (N) F.G. GARAGE DOOR
4. (N) FTD. WD. AND MIL. GUARDRAIL
5. (N) ROOF TO MATCH (E)
6. (N) SKYLIGHTS



REIKO MITCHELL &  
PARTNERS  
DESIGN

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SONG RESIDENCE

PROJECT ADDRESS:

3554 LARIAT  
LANE  
ROLLING HILLS ESTATE  
CA 90274  
OWNER:

PROJECT

TRAVIN BY  
REVISIONS/ISSUES

PLANNING PERMIT SET 2.17.23  
PLANNING PERMIT SET 1.23.23

DO NOT SCALE DRAWING DIMENSIONS CORNER  
DIMENSIONS ARE TO BE USED TO LOCATE LOT/D  
ALL DIMENSIONS SHALL BE SET ON THE BEFORE  
IN CONSULTATION WITH THE WORK  
MISPLACEMENTS ARE TO BE CORRECTED BY ANY  
OWNER. ANY REVISIONS TO THE SHEET OR APPROVALS  
SHOULD BE ON THE SHEET OR APPROVALS

PROPOSED ELEVATIONS

SHEET #

A3.3



