

**PLANNING COMMISSION**  
**CITY OF ROLLING HILLS ESTATES**  
**LOS ANGELES COUNTY, CALIFORNIA**  
**RESOLUTION NO. PA-240560**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS ESTATES GRANTING A GRADING PERMIT (G-240561) FOR THE IMPORTATION OF EARTH MATERIALS GREATER THAN 20 CUBIC YARDS TO WIDEN THE DRIVEWAY APRON AND RAISE APPROPRIATE GRADE LEVELS TO ACCOMMODATE THE INSTALLATION OF A NEW TEMPORARY PORTABLE GENERATOR FOR THE CALIFORNIA WATER SERVICE COMPANY; AND A VARIANCE (V-240562) TO CONSTRUCT FENCING AND A SLIDING SECURITY GATE WITHIN THE FRONT AND SIDE YARD THAT WOULD EXCEED THE MAXIMUM ALLOWABLE FENCE HEIGHT. APPLICANT: SALVADOR GONZALEZ ON BEHALF OF THE CALIFORNIA WATER SERVICE COMPANY; LOCATION: 0 ENCANTO DRIVE (APN 7551-015-030)**

The Planning Commission of the City of Rolling Hills Estates resolves as follows:

SECTION 1. General Findings. The Planning Commission finds as follows:

A. On April 6, 1987, the Planning Commission adopted Resolution No. P-197-87, approving 5' perimeter fencing in its current location, including within the front yard and street facing side yard setback.

B. On November 19, 2024, Salvador Gonzalez, on behalf of the California Water Service Company, filed an application (PA-240560) with the Planning Division requesting approval of a Grading Application (G-240561) for the import of more than twenty cubic yards of earth materials, and a Variance (V-240562) to construct fencing and a sliding security gate within the front and side yard that would exceed the maximum allowable fence height (collectively, the "Project").

C. The Project was reviewed in accordance with the California Environmental Quality Act (Public Resources Code § 21000 et seq.: "CEQA") and was determined to be Categorically Exempt under Class 15, Section 15301(e)(1) Existing Facilities.

D. The Planning Commission conducted a duly noticed public hearing on the 2nd day of March 2026. All interested parties were given full opportunity to be heard and to present evidence.

SECTION 2. Variance Findings. The Planning Commission finds with respect to the application for V-240562 to allow fencing and a sliding security gate within the front and side yard that would exceed the maximum allowable fence height:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to its intended use, which do not apply generally to other properties in the same zoning district and neighborhood because the subject facility's use for utility purposes is unique within the residential districts. The security needs for a critical potable water delivery facility, particularly at the front entrance, are significantly higher than those of a typical residence and cannot be met under standard residential zoning codes. Additionally, the excess fence height in the side yard is a specific response to the neighboring property at 2 Encanto Drive, intended to provide sound attenuation and mitigate the visual impact of the utility equipment for those residents.

B. That such a Variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the same zoning district and neighborhood because the site serves as critical infrastructure for the delivery of potable water to the Palos Verdes Peninsula. Maintaining the accessibility and security of this site is a fundamental necessity, ensuring the safety of the Montecillo neighborhood and the stability of the water supply for the surrounding region.

C. That the granting of this Variance will not be materially detrimental to the public welfare or injurious to property improvements in the zoning district and neighborhood in which the property is located because the facility has been at this location since before the development of the neighboring community. Additionally, prior to 2018, the site was fully visible

through less attractive fencing; the current proposal replaces a chain-link gate with superior wrought iron. The increased height is a protective measure for public welfare, securing infrastructure that is vital to the entire Peninsula.

D. That the granting of such Variance will not be contrary to the objectives of the General Plan because the General Plan emphasizes the provision of reliable basic services and infrastructure. By increasing the reliability of the water system during emergency power loss conditions, the project directly supports the City's master plan objectives.

E. That the granting of the Variance will not authorize a use or activity which is not otherwise expressly authorized by the zoning regulations governing the parcel of the property because a pump station is a conditionally permitted use within the R-A-20 District. The requested Variance does not alter the underlying land use; instead, it addresses the technical gap between traditional residential development standards and the specialized security and operational requirements of a unique utility facility.

SECTION 3. Grading Findings. The Planning Commission finds with respect to the application for G-240561 that the 71 cubic yards of imported earth materials will be used to raise a portion of the site to appropriate grade levels for the new drainage improvements and the new berm for the temporary generator. The grading activities are governed by the grading criteria in RHEMC Section 17.07.080 and will provide full structural calculations and grading details to the Building & Safety Division when applying for construction permits.

A. The grading is not excessive beyond that necessary for the permitted primary use of the lot. The proposal has met the criteria because the primary objective of the grading is to facilitate the accessibility and operation of a new temporary portable generator to address emergency situations and Public Safety Power Shutoff (PSPS) events. Due to the significant physical dimensions of the generator, a larger driveway apron and gate system are required to allow for safe ingress and egress. The proposed grading and subsequent repaving within the utility yard are strictly limited to the areas necessary for the new equipment pads and essential drainage improvements, ensuring that the scope of work does not exceed the functional requirements of the site's primary utility use.

B. The grading and/or construction does not significantly adversely affect the visual relationships with, nor the views from, neighboring sites. The proposal has met the criteria because the grading is kept to the absolute minimum required to support the temporary generator. A key component of the project is the replacement of the existing chain-link gate with a wrought iron gate. Since RHEMC Section 17.06.360 also prohibits chain-link as a fencing material in residential districts, the transition to wrought iron represents a qualitative visual improvement for the neighborhood. While the larger gate and wider driveway apron will alter the immediate street-front appearance, these changes are balanced by the necessity of protecting critical infrastructure. The added security and the upgrade in materials ensure that the visual impact is mitigated while maintaining the site's essential functions.

C. The nature of the grading minimizes disturbance to the natural contours; finished contours are reasonably natural. The proposal has met the criteria as most of the grading activities are contained within existing paved areas, primarily intended to correct and enhance site drainage. Although the widening of the driveway apron will lead to the loss of approximately 20' of street-facing landscaping and minor adjustments to the adjacent soil, the finished contours will remain consistent with the existing topography of the street and utility yard. The grading plan represents the minimum amount of earthwork necessary to accommodate the proposed infrastructure improvements without fundamentally altering the natural slope of the parcel.

D. The nature of the grading is in conformance with the neighborhood compatibility ordinance as set forth in Section 17.62.010. The proposal has met the criteria because it actively removes a non-complying chain-link fence and replaces it with wrought iron, a material that is more aesthetically compatible with residential zones. While the infrastructure project necessitates some changes to the visual relationship between the site and the neighborhood, these modifications are in direct support of providing potable water during emergency situations—a critical service for the community. The project maintains compatibility by utilizing higher-quality materials and limiting the grading footprint to essential utility upgrades.

E. The proposed grading meets the grading standards and design criteria as set forth in Section 17.07.080. The proposal has met the applicable grading standards and design criteria because the earthwork within the utility yard is subtle, only slightly raising the grade to prevent water accumulation through drainage improvements and the creation of a protective berm. Furthermore, the grading at the driveway apron is specifically engineered to the minimum

specifications required to support the weight and turning radius of an approximately 30' portable generator. All technical details, including slope stability and structural integrity, will be subject to final review and approval by the Building & Safety Division.

SECTION 4. Approval of Planning Application PA-24560. The foregoing findings constitute sufficient grounds for the approval of the requested project, including V-240562 and G-240561.

These approvals are granted subject to the following conditions, which must be met at all times, unless otherwise stated, in order to enjoy the use of the subject property for any and all uses permitted by the granting of the requested approvals.

General Conditions

1. All improvements hereafter constructed or installed on land which is the subject of this approval shall be located substantially as shown on Exhibit A and/or as required under the Municipal Code and/or as required in these conditions. Any alterations or additions to the approved plans, including additional demolition, or any changes to the exterior treatment including but not limited to exterior building materials or the size, shape, or location of windows or other openings, or changes to the size, location or amount of any hardscape shall be reviewed by the Community Development Director to determine if further Planning Commission approval is necessary.
2. In the event of one or more violations of these conditions, the City Manager shall have enforcement capability to remedy such violations and/or revoke said approvals.
3. The Applicant must submit to the City an executed copy of the *Affidavit of Acceptance of Conditions* (AOC) within ninety (90) days following the date of this approval. Failure to do so will render this approval null and void. City staff will provide the AOC to the applicant following the appeal period for this approval.
4. The applicant must submit the entire project for plan check with the Department of Building and Safety within six months of approval of this application (RHEMC Section 17.72.110.C.2), with two six-month time extensions maximum allowed to be granted by the Planning Commission. All colors and materials shall be noted on plans and Zone Clearance is contingent upon adherence to the conditions of approval.
5. Per RHEMC Section 8.20.120, the City of Rolling Hills Estates maintains an exclusive franchise agreement with Waste Management, for the collection of solid waste, recycling, and green waste services for residential and non-residential properties, as well as for the collection of construction-related generated waste for residential and non-residential projects. All bins maintained on private property and/or any bins placed in the Public Right of Way, with benefit of an encroachment permit during construction activities, must be contracted through Waste Management. Service may be coordinated by contacting Waste Management at (800) 774-0222.
6. That trucks transporting dirt, organic material, and demolition debris from the site must be covered and hosed down in a location on-site prior to existing the property. Any trucks transporting dirt and or organic material to the site must be covered or properly secured to prevent off-site debris to the satisfaction of the City Traffic Engineer.
7. All construction activity is limited to the hours between 7:00 A.M. and 5:00 P.M. Monday through Friday, and 9:00 A.M. and 5:00 P.M. on Saturday. No work is permitted on Sundays or holidays (New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day).
8. No queuing of trucks or arrival of construction materials and/or workers to the construction site is permitted outside the permitted construction hours and days.
9. That the applicant must comply with the City's Noise Ordinance during the construction of the project.
10. That the applicant must comply with all applicable NPDES (National Pollutant Discharge Elimination Systems) requirements.

SECTION 5. Severability. If any section, subsection, subdivision, sentence, clause, phrase, or portion of this resolution is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision will not affect the validity of the remainder of this resolution. The Planning Commission hereby declares that it would have adopted this resolution, and each and every section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections,

subdivisions, sentences, clauses, phrases, or portions thereof is declared invalid or unconstitutional.

SECTION 6. Record of Proceedings. The City Clerk is directed to certify to the adoption of this Resolution and to keep a copy of same along with such other documents and records of proceedings as may be designated by the City Manager.

ADOPTED this 2nd day of March, 2026.

\_\_\_\_\_  
WILL NICKLAS, CHAIR

ATTEST:

\_\_\_\_\_  
LAUREN PETTIT, CITY CLERK

I HEREBY CERTIFY that the foregoing Resolution No. PA-250001 was adopted by the Planning Commission of the City of Rolling Hills Estates at a regular meeting held thereof on the 2nd day of March, 2026, by the following vote:

AYES:

NOES:

ABSENT:

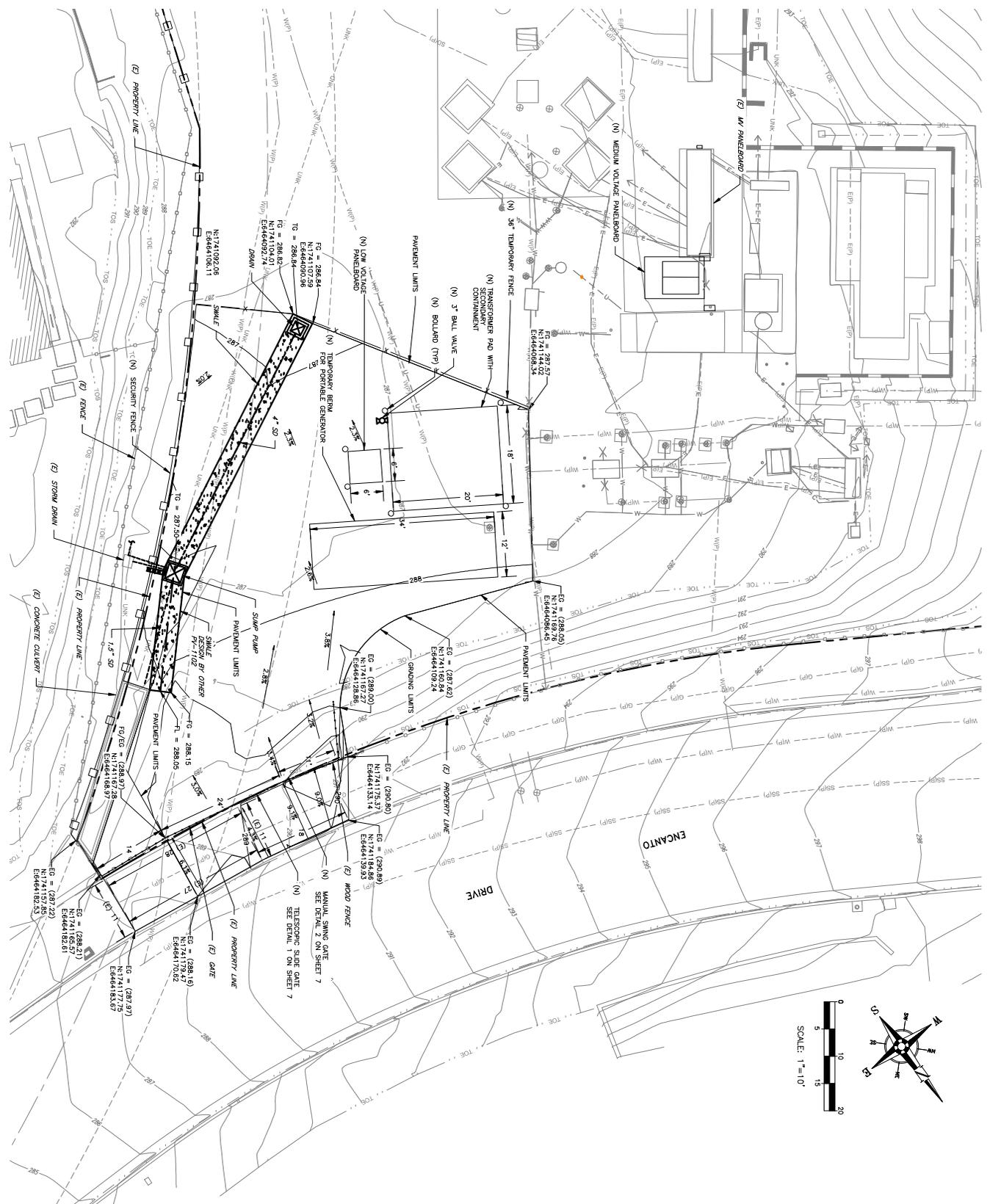
ABSTAIN:

\_\_\_\_\_  
LAUREN PETTIT, CITY CLERK



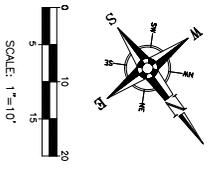
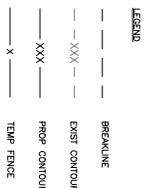


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**SITE PLAN**  
1" = 10'

- NOTES**
1. CONTRACTOR TO FIELD VERIFY GRADING LIMIT BASED ON EXISTING CONDITIONS
  2. ADJUST EXISTING WAVES, MARKERS, VALUES TO FINISHED GRADE OF NEW PAVEMENT



ISSUED FOR PERMIT  
12/5/25

**Jacobs**

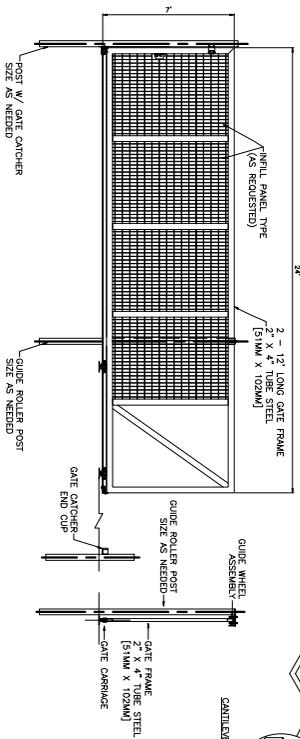
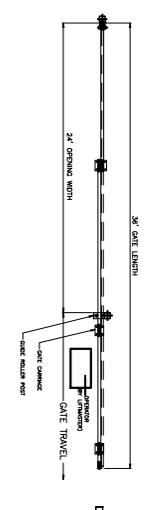
DRAWN BY: M. LAVAM  
DESIGNED BY: M. LAVAM  
CHECKED BY: M. LAVAM  
DATE: 12/5/25

PROJECT NO.: 00121426  
DRAWING NO.: PV-3821-C-02  
SHEET 3 OF 27

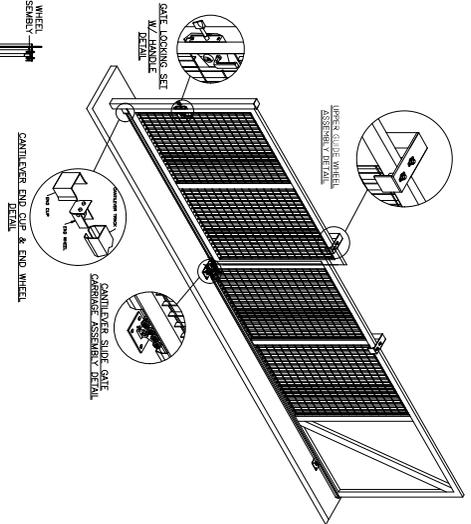
<b>REVISIONS</b>	<b>DEPARTMENT</b>	<b>ENGINEERING</b>	<b>WATER SERVICE</b>																												
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>ISSUED FOR PERMIT</td> <td>ML   WD   AN</td> </tr> <tr> <td>ISSUED FOR INTERNAL REVIEW</td> <td>AS   WD   AN</td> </tr> <tr> <td>DATE: 04/12/2024</td> <td>DATE: 11/20/2023</td> </tr> </table>	ISSUED FOR PERMIT	ML   WD   AN	ISSUED FOR INTERNAL REVIEW	AS   WD   AN	DATE: 04/12/2024	DATE: 11/20/2023	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>SCALE: AS SHOWN</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>DRAWN BY: M. LAVAM</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>DESIGNED BY: M. LAVAM</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>CHECKED BY: M. LAVAM</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>APPROVED BY: M. LAVAM</td> <td>DATE: 12/5/25</td> </tr> </table>	SCALE: AS SHOWN	DATE: 12/5/25	DRAWN BY: M. LAVAM	DATE: 12/5/25	DESIGNED BY: M. LAVAM	DATE: 12/5/25	CHECKED BY: M. LAVAM	DATE: 12/5/25	APPROVED BY: M. LAVAM	DATE: 12/5/25	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>PROJECT NO.: 00121426</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>DRAWING NO.: PV-3821-C-02</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>SHEET 3 OF 27</td> <td>DATE: 12/5/25</td> </tr> </table>	PROJECT NO.: 00121426	DATE: 12/5/25	DRAWING NO.: PV-3821-C-02	DATE: 12/5/25	SHEET 3 OF 27	DATE: 12/5/25	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>ENGINEER: M. LAVAM</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>CHECKED BY: M. LAVAM</td> <td>DATE: 12/5/25</td> </tr> <tr> <td>APPROVED BY: M. LAVAM</td> <td>DATE: 12/5/25</td> </tr> </table>	ENGINEER: M. LAVAM	DATE: 12/5/25	CHECKED BY: M. LAVAM	DATE: 12/5/25	APPROVED BY: M. LAVAM	DATE: 12/5/25
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CHECKED BY: M. LAVAM	DATE: 12/5/25																														
APPROVED BY: M. LAVAM	DATE: 12/5/25																														

**TITLE: PALOS VERDES STATION 22  
PORTABLE GENERATOR  
GRADING AND DRAINAGE PLAN**

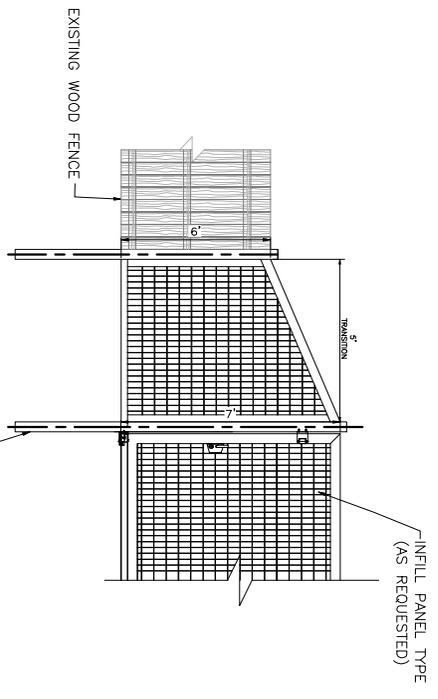
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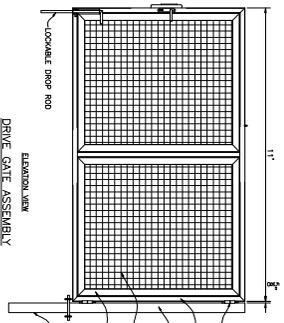
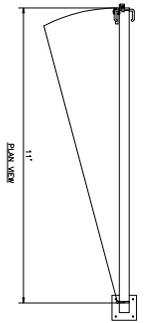
DETAIL 1 TELESCOPIC SLIDE GATE  
NTS



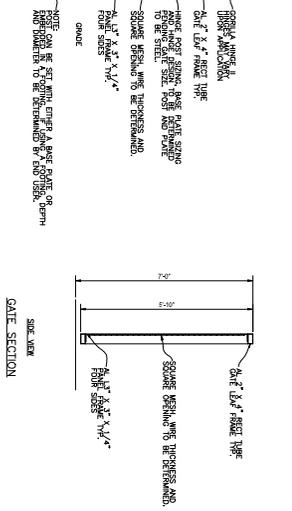
NOTE:  
MANUFACTURER = R&S OVERHEAD DOORS OF SOUTHBAY  
GATE TYPE = WROUGHT IRON SLIDING GATE  
GATE TO BE CONSTRUCTED LOOKING AWAY FROM SITE.



DETAIL 3 FENCE TRANSITION  
NTS



DETAIL 2 MANUAL SWING GATE  
NTS



NOTE:  
MANUFACTURER = R&S OVERHEAD DOORS OF SOUTHBAY  
GATE TYPE = WROUGHT IRON SLIDING GATE  
GATE TO BE CONSTRUCTED LOOKING TOWARDS SITE

ISSUED FOR PERMIT  
12/15/25

**Jacobs**  
DRAWN BY: M. LAVAM  
CHECKED BY: WJD  
DESIGNED BY: M. LAVAM  
DATE: 12/5/25  
DATE: 12/5/25  
DATE: 12/5/25

REGISTERED PROFESSIONAL ENGINEER  
No. 65496  
M. Lavam  
12/15/25

VERTICAL SCALES

0	1"
1	1"

REVISIONS

ISSUED FOR PERMIT	ML WDI AN	04/12/2024
ISSUED FOR INTERNAL REVIEW	AG WDI AN	11/20/2023

ENGINEERING  
CALIFORNIA  
WATER SERVICE  
DEPARTMENT

SCALE: AS SHOWN  
DRAWN BY: JACOBS  
CHECKED BY: D. SALEHI  
DATE: 12/5/25

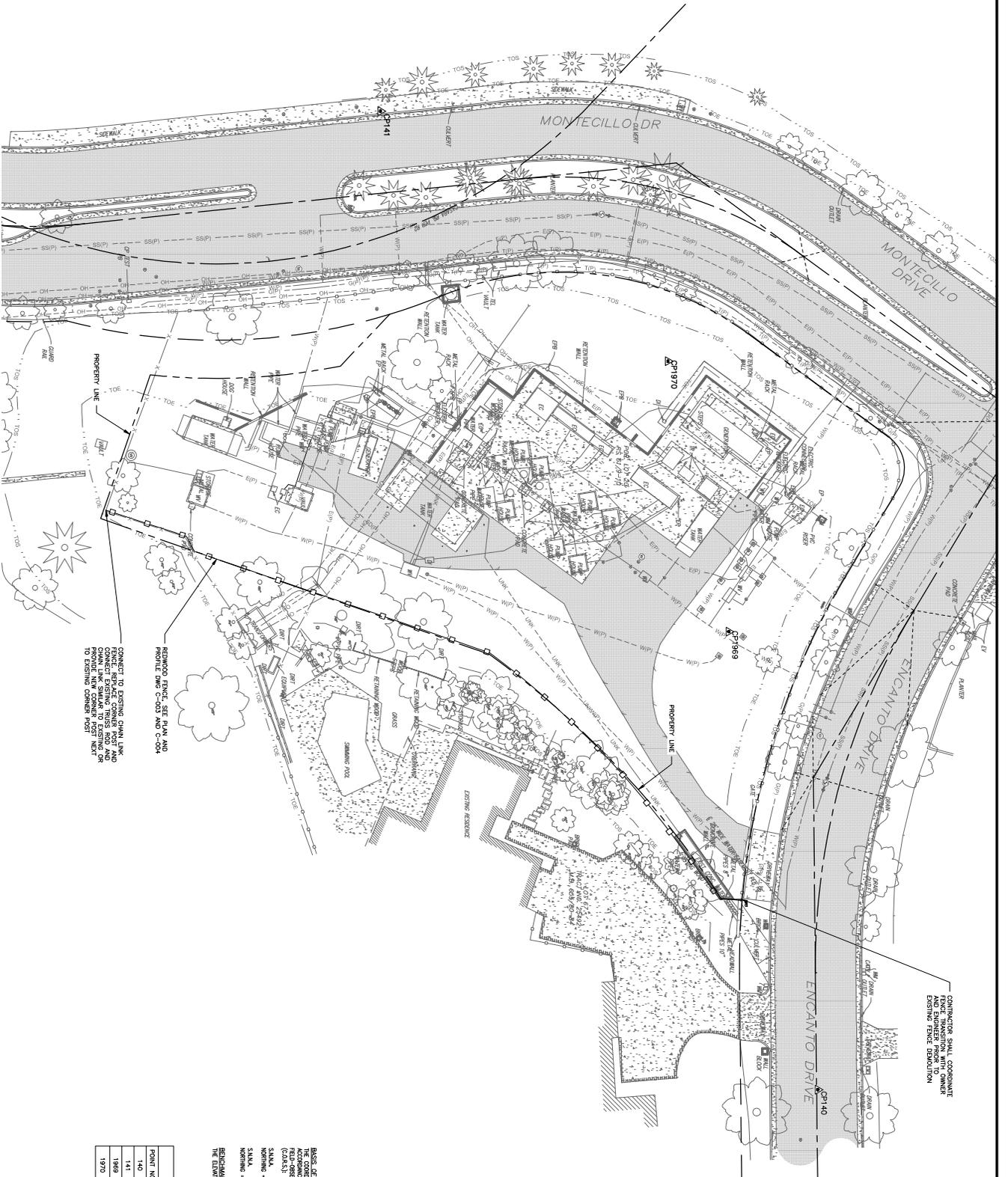
APPROVED BY: DATE: 12/5/25

TITLE: PALOS VERDES STATION 22 PORTABLE GENERATOR  
CIVIL DETAILS

PROJECT: VERDES  
PROJECT NO.: 00121426  
DRAWING NO.: PV-3821-C-07  
SHEET 8 OF 27





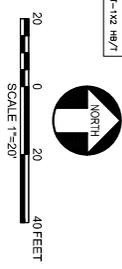


CONTRACTOR TO RECONSTRUCT EXISTING CONCRETE SECURITY WALL AND PROVIDE NEW CORNER POST NEXT TO EXISTING CORNER POSTS

CONTRACTOR SHALL COORDINATE AND ENGINEER PARKING TO EXISTING FENCE DEMOLITION

CONTROL POINT TABLE			
POINT NO.	ELEVATION	NORTHING	EASTING
140	283.20	1741796.14	6444257.46
141	307.44	1741023.44	6443372.84
1969	287.65	1741161.02	6444077.42
1970	296.78	1741126.96	6443371.14

**DATE OF RECORDS:**  
THE CONDITIONS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COGNITIVE SYSTEM OF 1983, CODED ZONE 5, (2023.2) IN FIELD-DESIGNED USE TO THE FOLLOWING LOCAL SWANNEY NORTH AMERICA (S.N.A.) COMMUNITY RESERVING REFERENCE SURVING (C.O.A.S.):  
S.N.A. CODE: 049524.17  
NORTHING = 172670.47  
EASTING = 641923.87  
S.N.A. CODE: 049524.17  
NORTHING = 172670.47  
EASTING = 641923.87  
BENCHMARK:  
THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE SWANNEY NORTH AMERICA CODE: CODE ELEVATION 1426 FEET (MVD 88).



**WATERWORKS ENGINEERS**  
 QUALITY BY: MDT  
 INSPECTED BY: RAM  
 CHECKED BY: ALB  
 APPROVED BY: [Signature]



TITLE:  
SUBJECT:  
PROJECT:  
PALOS VERDES

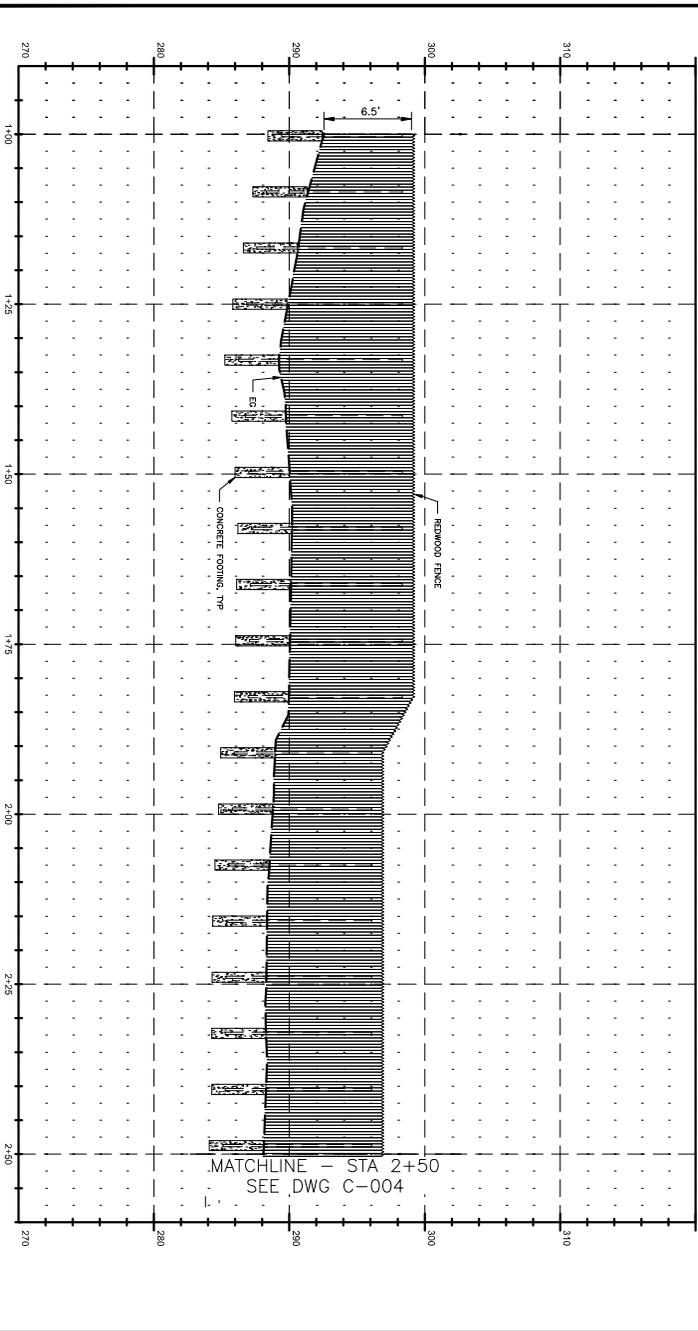
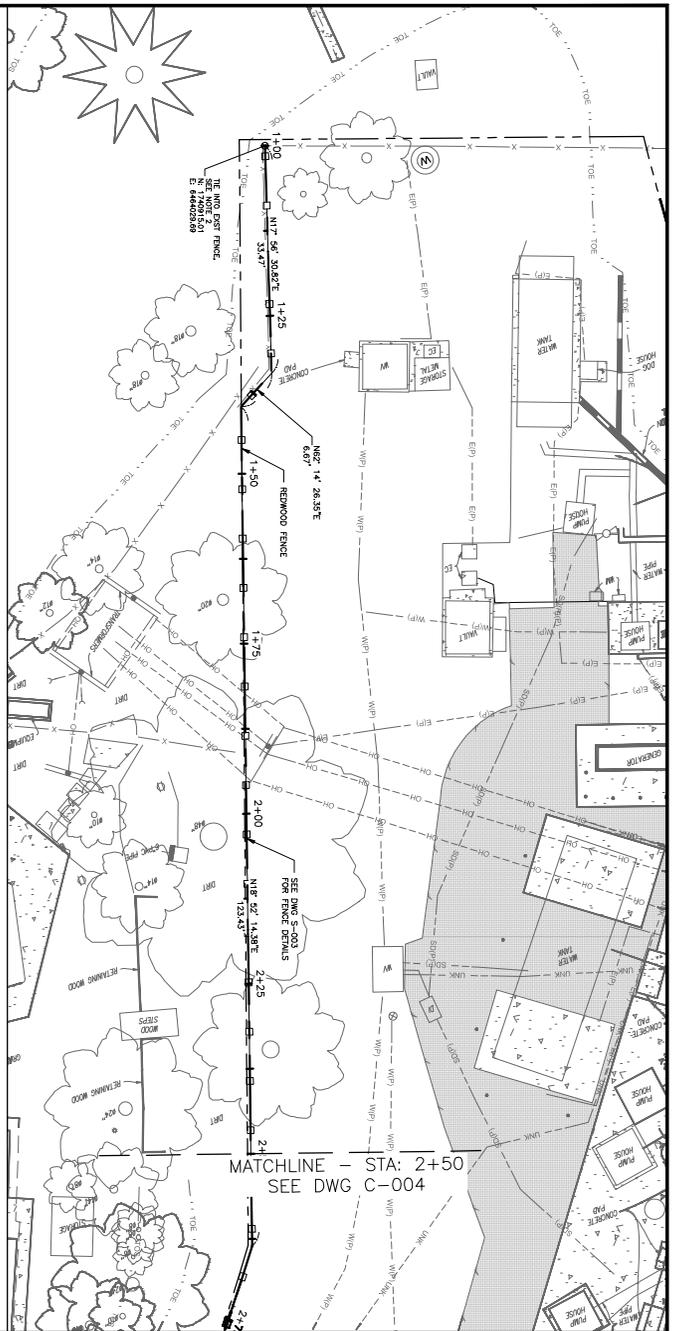
PALOS VERDES 22  
SECURITY WALL PROJECT  
SITE PLAN

DATE: JANUARY 2026  
 PROJECT NO.: 124293  
 DRAWING NO.: PV-XXXX-C-002  
 SHEET 7 OF 13

SCALE: 1"=20'  
 DRAWN BY: MDT  
 DESIGNED BY: ALB  
 FIELD SURVEY: DATE  
 CHECKED BY: DATE  
 APPROVED BY: DATE

DEPARTMENT: WATER SERVICE  
 ENGINEERING: CALIFORNIA WATER SERVICE

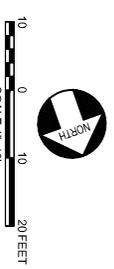




MATCHLINE - STA: 2+50  
SEE DWG C-004

MATCHLINE - STA 2+50  
SEE DWG C-004

- GENERAL NOTES:
1. FENCE DETAIL IS FOR VISUAL REPRESENTATION. FENCE CONSTRUCTION DETAILS.
  2. CONNECT TO EXISTING CHAIN LINK FENCE. BRICK AND SAND CONCRETE SHALL BE INSTALLED TO EXISTING OR PROVIDE NEW BORDER POST NEXT TO EXISTING STATION 2511.



**WATERWORKS ENGINEERS**

QUALITY BY DESIGN

DESIGNED BY: MDT  
CHECKED BY: RAVM  
PROJECT NO.: 124293  
DRAWING NO.: PV-XXXX-C-003  
DATE: 01/13

STATE OF CALIFORNIA  
LICENSED PROFESSIONAL ENGINEER  
NO. 95430  
CIVIL  
EXPIRES 12/31/2026

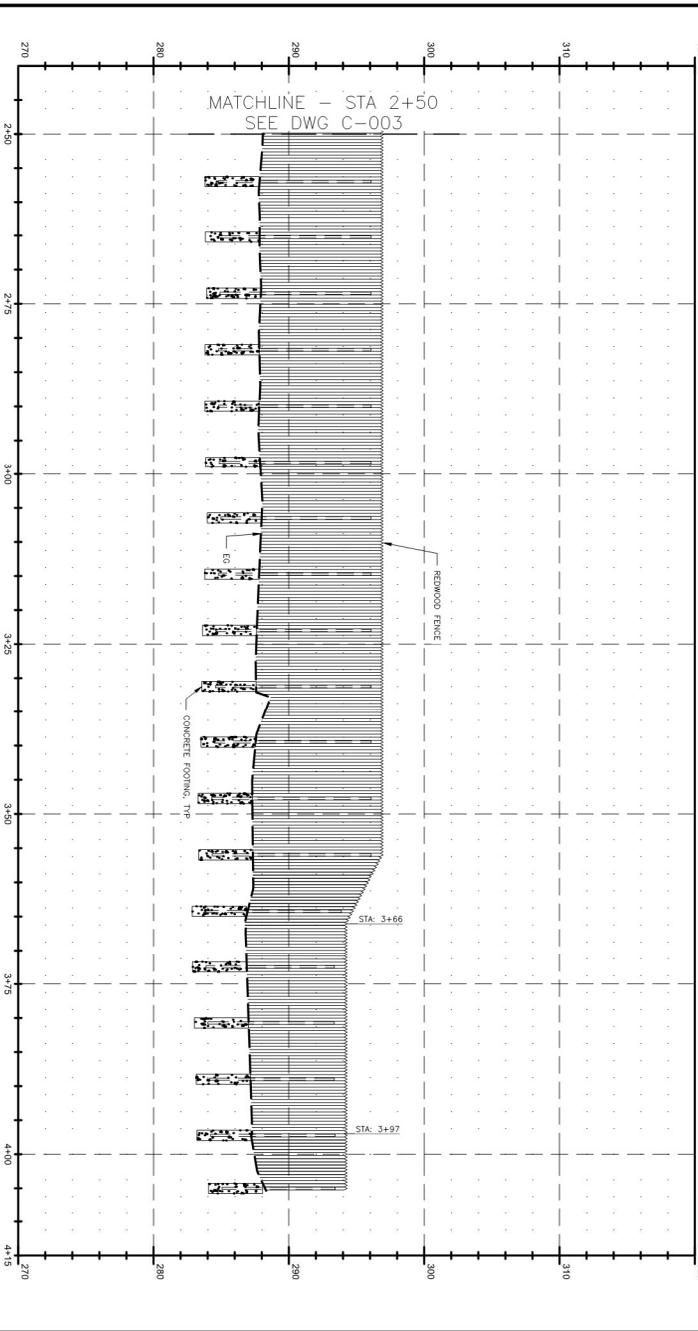
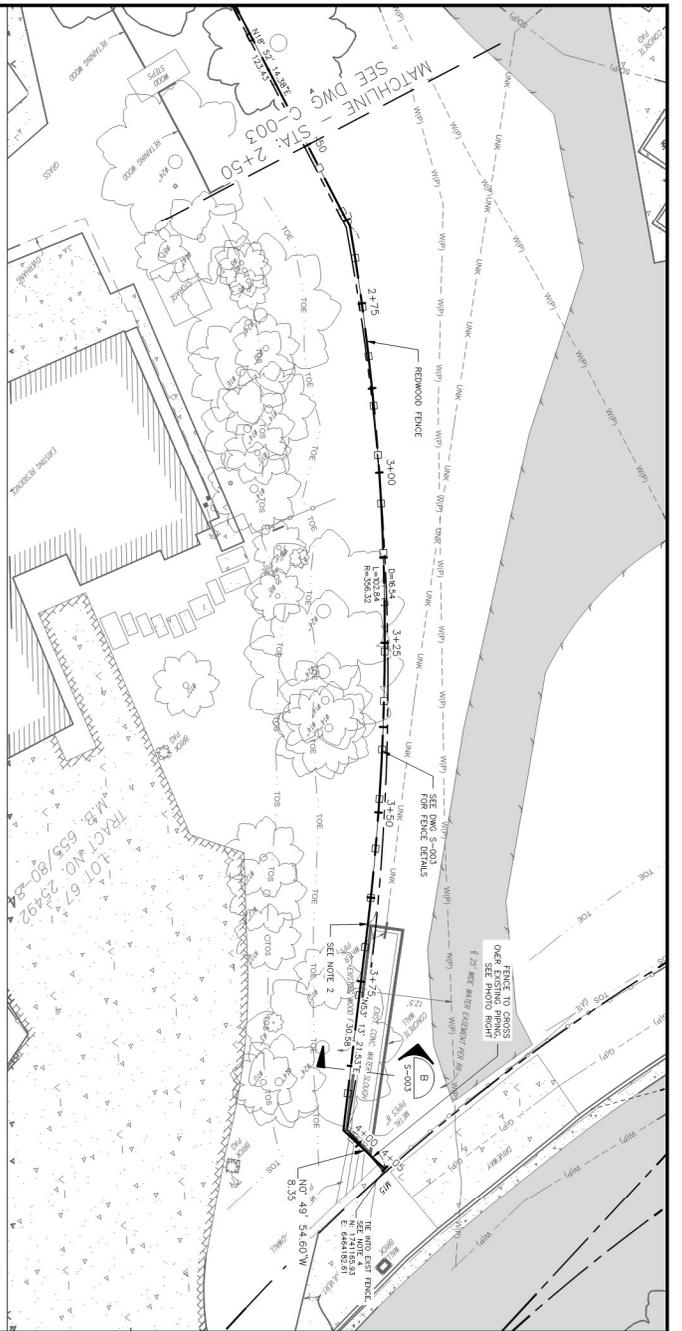
TITLE: PALOS VERDES 22 SECURITY WALL PROJECT  
FENCE PLAN AND PROFILE BEG TO STA 2+50

DATE: JANUARY 2026  
PROJECT NO.: 124293  
DRAWING NO.: PV-XXXX-C-003  
SHEET NO.: 8 OF 13

ENGINEERING DEPARTMENT

CALIFORNIA WATER SERVICE

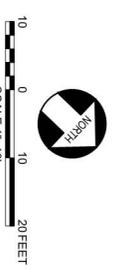
DESIGNED BY: MDT  
CHECKED BY: RAVM  
PROJECT NO.: 124293  
DRAWING NO.: PV-XXXX-C-003  
DATE: 01/13



- GENERAL NOTES:
1. FENCE DETAIL IS FOR VISUAL REPRESENTATION. FENCE CONSTRUCTION DETAILS TO BE PROVIDED BY CONTRACTOR.
  2. FENCE TO BE CONSTRUCTED PER SECTION B ON SHEET S-003 FROM STA 3+66 TO 3+97.
  3. EXISTING ABOVE GROUND PIPE TO BE DEMOLISHED.
  4. CONTRACTOR SHALL COMPLETE FENCE TRANSMISSION FENCE PENALTION.



1 PHOTO



**WATERWORKS ENGINEERS**

DRAWN BY: MDT  
DESIGNED BY: RAM  
CHECKED BY: AIB  
APPROVED BY: [Signature]



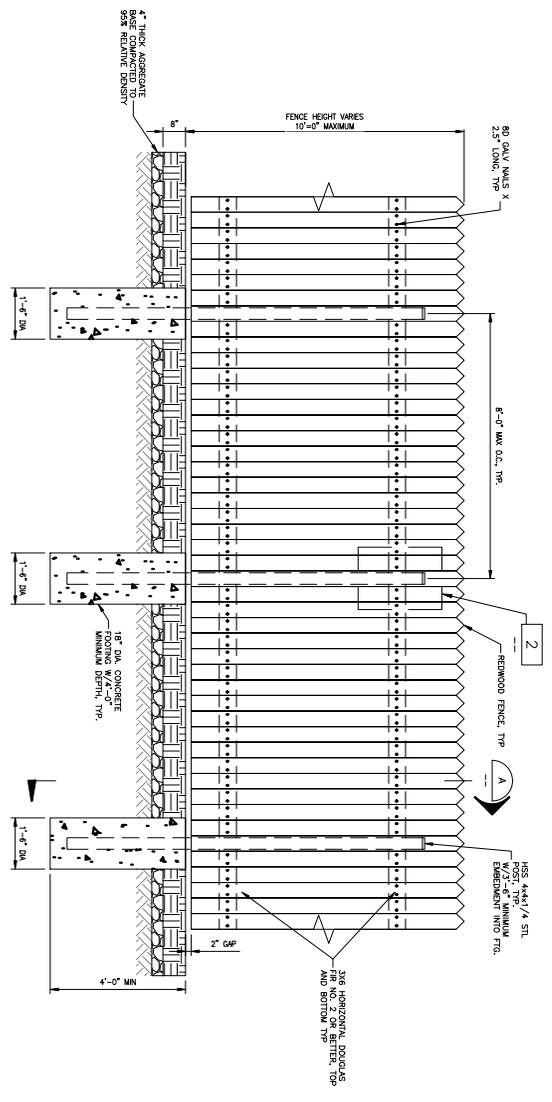
TITLE: PALOS VERDES 22 SECURITY WALL PROJECT FENCE PLAN AND PROFILE STA 2+50 TO END

DATE: JANUARY 2026  
PROJECT NO: 124233  
DRAWING NO: PV-XXX-C-004  
SHEET 9 OF 12

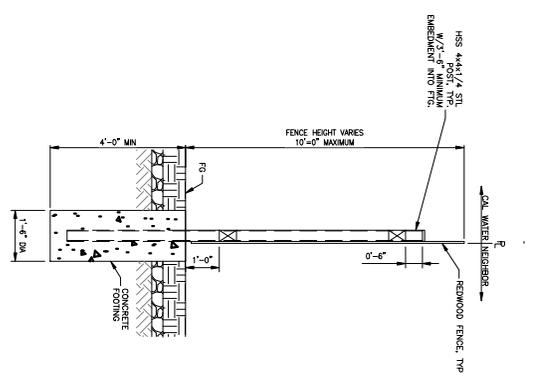
ENGINEERING DEPARTMENT

CALIFORNIA WATER SERVICE

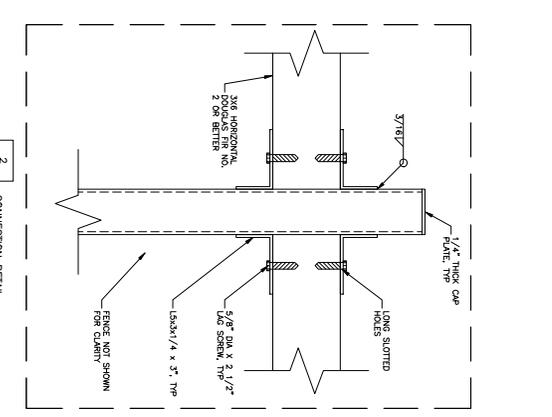
DATE: \_\_\_\_\_  
DRAWN BY: MDT  
DESIGNED BY: AIB  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_



1 FENCE ELEVATION

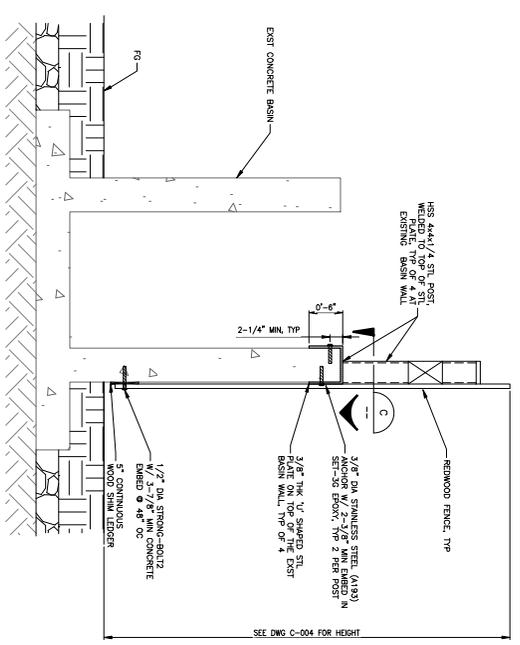


A SECTION

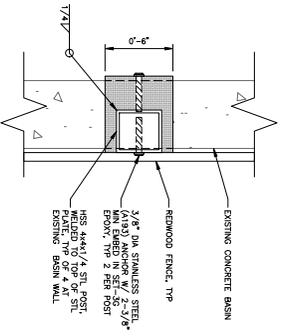


B SECTION

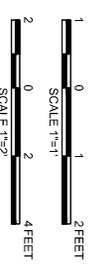
GENERAL NOTES:  
1. REFER TO THE CONSTRUCTION PER SECTION B FROM STA 3+46 TO 3+49. ALL OTHER LOCATIONS USE SECTION A. SEE C-003 AND C-004 FOR SIMONING.



B FENCE POST SECTION AT EXISTING BASIN



C SECTION



PALOS VERDES 22  
SECURITY WALL PROJECT  
FENCE DETAIL



**WATERWORKS ENGINEERS**  
 QUALITY BY DESIGN  
 MDPT  
 MARIANNE M. DAVIS  
 S. DESAI



DATE: JANUARY 2026  
 PROJECT NO: 124293  
 DRAWING NO: PV-XXXX-S-003  
 SHEET 12 OF 13

ENGINEERING  
 CALIFORNIA  
 WATER SERVICE  
 DEPARTMENT  
 DIVISION

SCALE: 1"=2'  
 DRAWN BY: MDPT  
 DESIGNED BY: ALB  
 DATE: DATE  
 CHECKED BY: DATE  
 APPROVED BY: DATE